

Approved Construction Plan

Name	Date
Planning	
Traffic	
Fire	

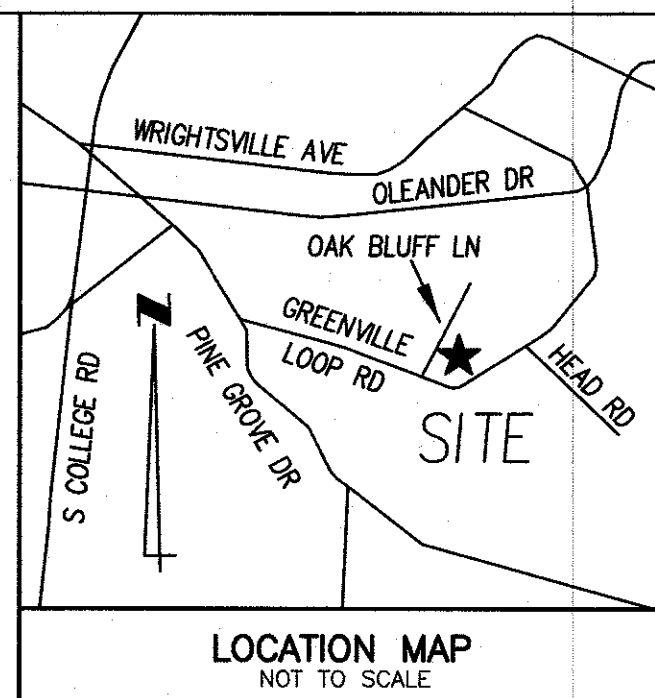
WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN

Date: _____ Permit #: _____

Signed: _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

OWNER/APPLICANT:
THE APOSTOLIC TABERNACLE CHURCH
PASTOR LUNDY LOGUE
712 WELLINGTON AVENUE
WILMINGTON, NC 28401
PHONE # (910) 408-9413
EMAIL: OFFICE@WILMINGTON.COM



REVISIONS		
No./Date	Description	By

THE APOSTOLIC TABERNACLE CHURCH
5829 GREENVILLE LOOP ROAD
WILMINGTON, NORTH CAROLINA

SITE INVENTORY NOTES:

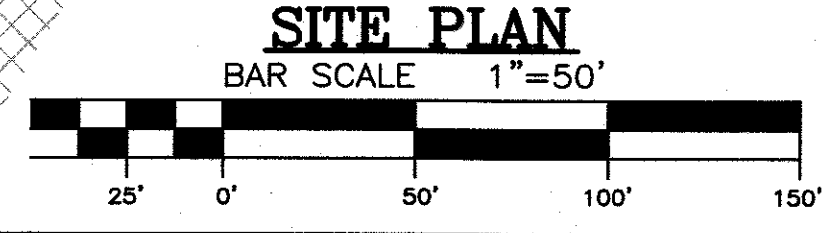
- PREPARER OF THE PLAN: TRIPP ENGINEERING, P.C.
- APPLICANT NAME: THE APOSTOLIC TABERNACLE CHURCH
- SITE ADDRESS OF THE DEVELOPMENT: 5829 GREENVILLE LOOP ROAD
- PROPERTY OWNER: THE APOSTOLIC TABERNACLE CHURCH
- DEVELOPER: THE APOSTOLIC TABERNACLE CHURCH
- PROPERTY BOUNDARY: SEE PLAN
TAX PARCEL INFORMATION: R06200-003-018-000
- PROPERTY ZONING: R-15 - RESIDENTIAL DISTRICT
- ADJACENT PROPERTY OWNER INFORMATION: SEE PLAN
- VICINITY MAP: SEE PLAN
- TOPOGRAPHY: SEE PLAN
- 100-YEAR FLOOD BOUNDARY: SEE PLAN
- EXISTING DITCHES, CREEKS AND STREAMS: SEE PLAN
- SOIL: Cr; CRAVEN FINE SANDY LOAM, Jo; JOHNSTON; Kr; KUREB SAND, LE; LEON SAND, Se; SEAGATE FINE SAND
- CAMA AEC: N/A
- CAMA LAND CLASSIFICATION: WATERSHED RESOURCE PROTECTION
- CONSERVATION RESOURCES: HEADWATER SWAMP/SWAMP FOREST WETLANDS ASSOCIATED SETBACKS: SEE CONSERVATION RESOURCE MAP
- HISTORIC OR ARCHAEOLOGICAL SITE: N/A
- CEMETERIES, BURIAL SITES/GROUNDS: N/A
- FORESTED AREAS, HABITAT AND DOMINANT SPECIES: N/A
- WETLANDS: SEE PLAN
- PROTECTED SPECIES OR HABITAT: N/A
- EXISTING OR PROPOSED THOROUGHFARES, BIKE ROUTES, PEDESTRIAN SIDEWALKS OR TRAILS AND TRANSIT FACILITIES: SEE SITE PLAN
- EXISTING TREES AS SHOWN ON PLAN

TREE I.D.

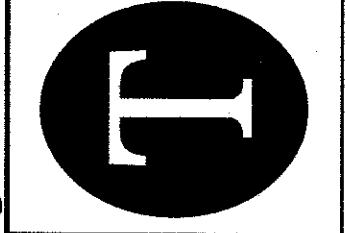
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- 8" HOLLY
- 37" MAGNOLIA
- 6" DOGWOOD
- CREPE MYRTLE

LEGEND

- PROPERTY LINE (BOUNDARY)
- RIGHT OF WAY
- EXISTING CONTOUR
- EXISTING SPOT ELEVATION
- PRELIMINARY DFIRM FLOOD RISK AE 12 BFE
- 0.2 PCT ANNUAL CHANCE FLOODING HAZARD



TRIPP ENGINEERING, P.C.
419 Chestnut Street
Wilmington, North Carolina 28401
Phone 910-763-5100
Email trippeng@ec.rr.com



DATE 11-26-18
DESIGN PGT
DRAWN MLV

C1
SHEET 1 OF 6
17024

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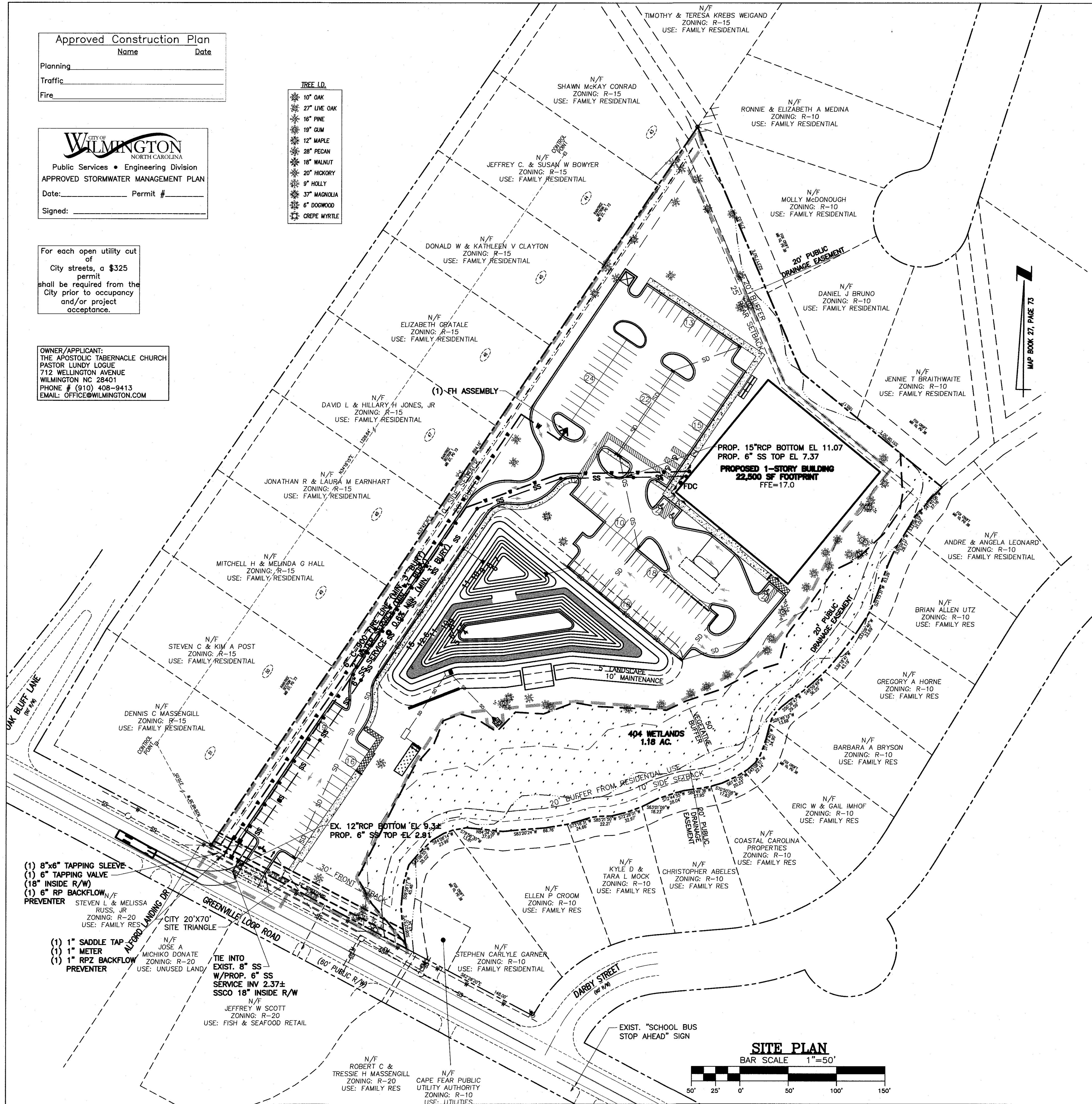
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NOTES:

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- 1) TOPOGRAPHY COMPLETED BY C.L. GLOVER COMPANY.
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- 3) CONTRACTOR SHALL FIELD VERIFY SIZE, MATERIAL, INVERTS AND LOCATION OF ALL EXISTING UTILITIES PRIOR TO INSTALLATION OF PROPOSED CONNECTIONS.
- 4) EXISTING EASEMENTS AS SHOWN.
- 5) CONTRACTOR SHALL MAINTAIN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
- 6) UNDERGROUND FIRE LINE(S) MUST BE PERMITTED AND INSPECTED BY THE WILMINGTON FIRE DEPARTMENT FROM THE PUBLIC RIGHT-OF-WAY TO THE BUILDING. CONTACT THE WILMINGTON FIRE DEPARTMENT DIVISION OF FIRE AND LIFE SAFETY AT 910-341-0696.
- 7) BUILDING CONSTRUCTION TYPE IS II-B.

SOLID WASTE

- 1) SITE TO USE DUMPSTER.

TRAFFIC

- 1) ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
- 2) TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
- 3) CONTACT TRAFFIC ENGINEERING AT 910-341-7888 TO ENSURE THAT ALL TRAFFIC SIGNALS FACILITIES AND EQUIPMENT ARE SHOWN ON THE PLAN.
- 4) CALL TRAFFIC ENGINEERING AT 910-341-7888 FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT-OF-WAY.
- 5) ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.
- 6) CONTACT 910-341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
- 7) ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
- 8) NO ROWS TO BE CLOSED.
- 9) NO STREETS PROPOSED.
- 10) OFF SITE PARKING PROPOSED AS SHOWN.
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- 13) ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
- 14) STOP SIGNS AND STREET SIGNS TO REMAIN IN PLACE DURING CONSTRUCTION.
- 15) TACTILE WARNING MATS WILL BE INSTALLED ON ALL WHEELCHAIR RAMPS.
- 16) POSTED SPEED LIMIT 40 MPH.

LANDSCAPING

- 1) A LANDSCAPING PLAN INDICATING THE LOCATION OF REQUIRED STREET TREES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON TRAFFIC ENGINEERING DIVISION AND THE PARKS AND RECREATION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO THE RECORDING OF THE FINAL PLAN.
- 2) NO OBSTRUCTIONS ARE PERMITTED IN THE SPACE BETWEEN THIRTY (30) INCHES AND TEN (10) FEET ABOVE THE GROUND WITHIN THE TRIANGULAR SITE DISTANCE.
- 3) PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES AND NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
- 4) ANY TREES AND/OR AREAS DESIGNATED TO BE PROTECTED MUST BE PROPERLY BARRICADED WITH FENCING AND PROTECTED THROUGHOUT CONSTRUCTION TO INSURE THAT NO CLEARING, GRADING OR STAGING OF MATERIALS WILL OCCUR IN THOSE AREAS.
- 5) NO EQUIPMENT IS ALLOWED ON SITE UNTIL ALL TREE PROTECTION FENCING AND SILT FENCING IS INSTALLED AND APPLIED. PROTECTIVE FENCING IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT AND CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTIONS ON TREE PROTECTION METHODS.
- 6) ALL PROPOSED VEGETATION WITHIN SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30'-10'.

CFPUA

- 1) WATER AND SEWER SERVICE SHALL MEET CAPE FEAR PUBLIC UTILITY AUTHORITY (CFPUA) DETAILS AND SPECIFICATIONS.
- 2) PROJECT SHALL COMPLY WITH THE CFPUA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METER(S) CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR FINAL APPROVAL.
- 3) IF THE CONTRACTOR DESIRES CFPUA WATER FOR CONSTRUCTION, HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPERS SIDE OF THE WATER METER BOX.
- 4) ANY IRRIGATION SYSTEM SUPPLIED BY CFPUA WATER SHALL COMPLY WITH THE CFPUA'S CONNECTION CONTROL REGULATION. CALL 910-332-6419 FOR INFORMATION.
- 5) ANY BACKFLOW PREVENTION DEVICES REQUIRED BY CFPUA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES FOR USCFCOHR OR ASSE.
- 6) PUBLIC WATER MAIN EXTENSION AND WATER SERVICES PROPOSED. SANITARY SEWER SERVICE PROPOSED.
- 7) CONTACT THE NORTH CAROLINA ONE CALL CENTER AT 1-800-632-4949 PRIOR TO DOING ANY DIGGING, CLEARING OR GRADING.
- 8) ANY IRRIGATION SYSTEM SHALL BE EQUIPPED WITH A RAIN AND FREEZER SENSOR.
- 9) CONTRACTOR TO FIELD VERIFY EXISTING WATER AND SEWER SERVICE LOCATIONS, SIZES AND MATERIALS PRIOR TO CONSTRUCTION. ENGINEER TO BE NOTIFIED OF ANY CONFLICTS.
- 10) A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. CONTACT 910-341-5888 FOR MORE DETAILS.

DRAINAGE

- 1) SHEET FLOW TO PROPOSED INLETS TO PROPOSED WET DETENTION BASIN, TO EITHER PIPE WRAPPED IN 18" OF SAND THEN TO A LEVEL SPREADER/FILTER STRIP BEFORE DISCHARGING AT A NON-EROSIVE VELOCITY TO EXISTING WETLANDS AND STREAM OR BYPASS TO OUTLET PIPE BEFORE DISCHARGING AT A NON-EROSIVE VELOCITY TO EXISTING WETLANDS AND STREAM.

UNDERGROUND UTILITIES

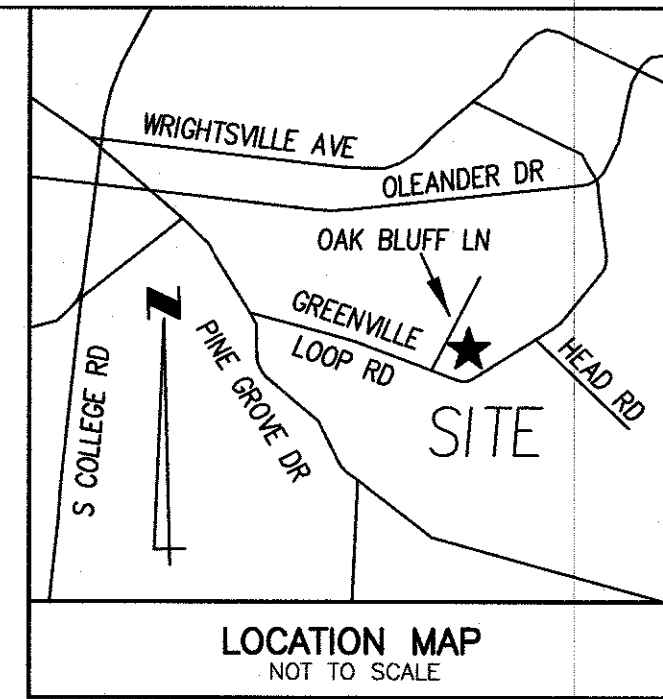
- 1) ALL ELECTRIC, CABLE TELEVISION AND TELEPHONE FACILITIES, FIRE ALARM CONDUITS, STREET LIGHTING WIRING AND OTHER WIRING CONDUITS AND SIMILAR FACILITIES SHALL BE PLACED UNDERGROUND BY THE DEVELOPER OR THE APPROPRIATE UTILITY COMPANY.
- 2) A MINIMUM COVER OF 30-INCHES OVER ALL PROPOSED WATER LINES SHALL BE PROVIDED.

FIRE

- 1) FIRE HYDRANTS TO BE INSTALLED PER CITY OF WILMINGTON ORDINANCE AND CFPUA STANDARDS.
- 2) PARKING AND LANDSCAPING CANNOT BLOCK FIRE HYDRANTS OR FDC'S.
- 3) FDC'S CAN BE NO FURTHER THAN 40' FROM FIRE DEPARTMENT VEHICLE PLACEMENT.
- 4) FDC'S CAN BE NO FURTHER THAN 150' FROM A FIRE HYDRANT.
- 5) SHOW ALL FDC LOCATIONS ON FINAL PLAN.
- 6) ALL WEATHER ACCESS ROAD MUST BE MAINTAINED AROUND CONSTRUCTION SITE AT ALL TIMES.
- 7) NEW HYDRANTS SHALL BE BROUGHT INTO SERVICE PRIOR TO COMBUSTIBLE MATERIALS BEING DELIVERED TO THE JOB SITE.
- 8) HYDRANTS SHALL BE OF SUFFICIENT NUMBERS TO ACCOMMODATE BASE FIRE FLOW REQUIREMENTS OF STRUCTURE.
- 9) IN ADDITION TO THE STANDARD COMMENTS, ADDITIONAL FIRE PROTECTION AND ACCESSIBILITY REQUIREMENTS MAY BE REQUIRED DUE TO ANY SPECIAL CIRCUMSTANCES CONCERNING THE PROJECT.
- 10) PRIVATE UNDERGROUND FIRE LINES REQUIRE A SEPARATE UNDERGROUND FIRE LINE PERMIT FROM THE WILMINGTON FIRE AND LIFE SAFETY DIVISION 910-343-0696.
- 11) ALL ISOLATION VALVES WITHIN THE "HOT BOX" SHALL BE ELECTRICALLY SUPERVISED. PLEASE WORK CLOSELY WITH YOUR FIRE SPRINKLER AND ALARM INSTALLER IN REGARDS TO RUNNING WIRE FOR TAMPER SWITCH.

SITE

- 1) ALL OUTDOOR LIGHTING SHALL BE INSTALLED SO AS NOT TO SHINE OR REFLECT DIRECTLY ONTO SURROUNDING PROPERTIES. SITE LIGHTING TO BE PROVIDED BY DUKE ENERGY.
- 2) SIGNS SHALL NOT BE INTERNALLY ILLUMINATED.



SITE DATA:

PROPERTY OWNER	THE APOSTOLIC TABERNACLE CHURCH
PROJECT ADDRESS	5829 GREENVILLE LOOP ROAD
PIN NUMBERS	RO6200-003-018-000
AREA NOT IN A FEMA 100-YEAR FLOOD ZONE	
TRACT AREA	269,912 SF (6.20 AC)
DISTURBED AREA	4.6 Ac.
ZONING DISTRICT	R-15-RESIDENTIAL DISTRICT
SETBACKS REQUIRED	FRONT: 30' REAR: 25' SIDE: 10'
PROPOSED 22,500 SF BUILDING SETBACK	FRONT: 516' REAR: 28' SIDE: 58'
CAMA LAND USE	WATERSHED RESOURCE PROTECTION
BUILDING USE	RELIGIOUS FACILITY (CHURCH)
PROPOSED BUILDING FOOTPRINT AREA	22,500 SF
BUILDING LOT COVERAGE (22,500/269,912)	8.34%
NUMBER OF BUILDINGS	1
NUMBER OF UNITS	35
BUILDING HEIGHT	2
NUMBER OF STORIES	2
SF 1st FLOOR (GROSS)	22,500 SF
SF 2nd FLOOR (GROSS)	16,236 SF
EXISTING IMPERVIOUS AREAS:	
EXISTING BUILDING	4,190 SF
EXISTING ASPHALT	0 SF
EXISTING CONCRETE	0 SF
EXISTING GRAVEL	6,425 SF
EXISTING IMPERVIOUS AREA	10,615 SF (3.93%)
PROPOSED ONSITE IMPERVIOUS AREAS:	
PROPOSED BUILDING FOOTPRINT	22,500 SF
PROPOSED ASPHALT	68,405 SF
PROPOSED CONCRETE	6,253 SF
FUTURE IMPERVIOUS	9,482 SF
EXISTING IMPERVIOUS TO REMAIN	0 SF
TOTAL ONSITE IMPERVIOUS AREA	106,640 SF (39.51%)
TOTAL OFFSITE IMPERVIOUS AREA	600 SF
TOTAL ONSITE + OFFSITE IMPERVIOUS AREA	107,438 SF
PARKING REQUIRED: 600 SEATS	150
MINIMUM: 1/4 SEATS	200
MAXIMUM: 1/3 SEATS	159
PARKING PROVIDED	6
HANDICAP SPACES REQUIRED	6
HANDICAP SPACES PROVIDED	6
BICYCLE PARKING REQUIRED (159 SPACES)	15
BICYCLE PARKING PROPOSED	15
PUBLIC WATER AND SEWER BY CFPUA	
EXISTING WATER FLOW:	398 GPD
EXISTING SEWER FLOW:	360 GPD
PROPOSED WATER FLOW:	
(3 GPD PER SEAT x 600 SEATS x 110%)	1,980 GPD
PROPOSED SEWER FLOW:	
(3 GPD PER SEAT x 600 SEATS)	1,800 GPD

LEGEND

---	PROPERTY LINE (BOUNDARY)
---	RIGHT OF WAY
---	PROPOSED CONCRETE AREA

REVISIONS

No.	Date	Description	By

UTILITY PLAN

THE APOSTOLIC TABERNACLE CHURCH
5829 GREENVILLE LOOP ROAD
WILMINGTON, NORTH CAROLINA

TRIPP ENGINEERING, P.C.
419 Chestnut Street
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Phone 910-763-5100
Email trippeng@ec.rr.com



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DRAWN MLV

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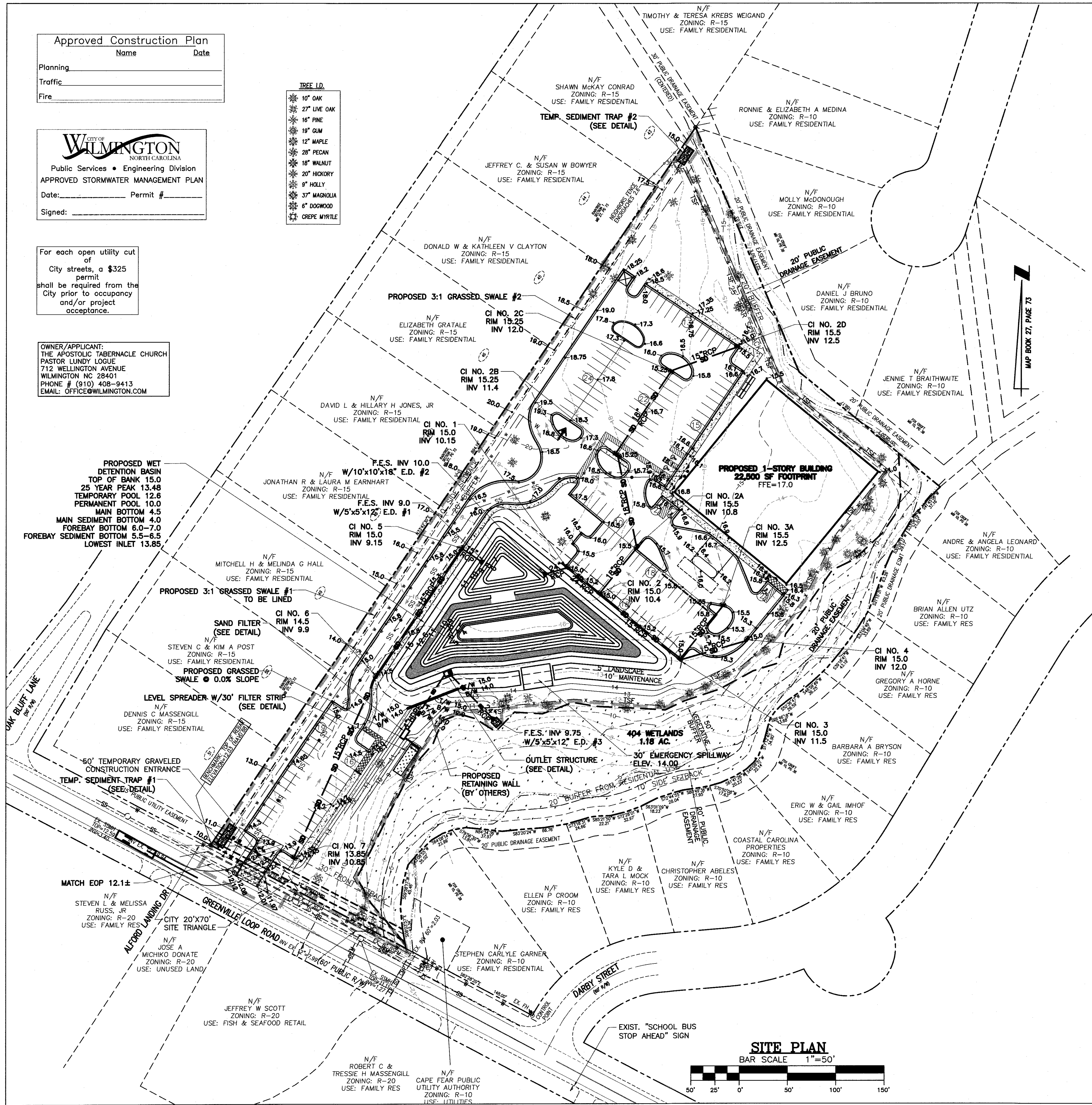
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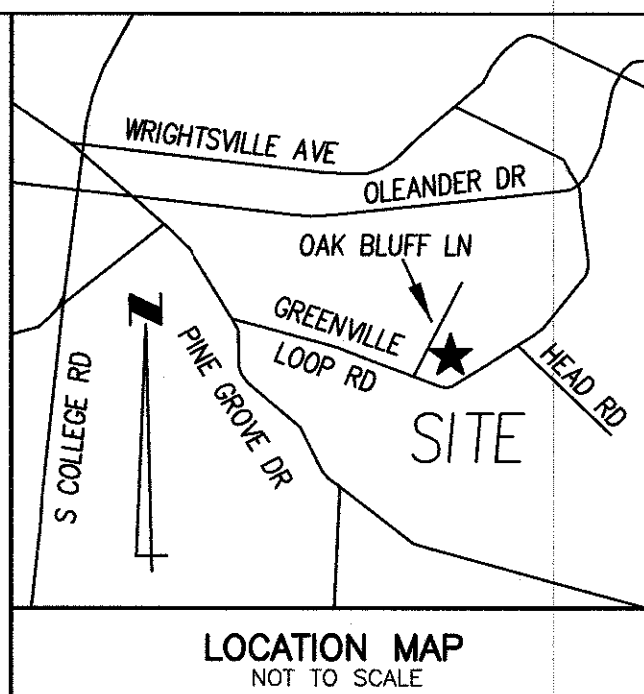
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PROJECT ADDRESS	5829 GREENVILLE LOOP ROAD
PIN NUMBERS	R06200-003-018-000
AREA NOT IN A FEMA 100-YEAR FLOOD ZONE	
TRACT AREA	269,912 SF (6.20 AC)
DISTURBED AREA	4.6 AC
ZONING DISTRICT	R-15-RESIDENTIAL DISTRICT
SETBACKS REQUIRED	FRONT: 30' REAR: 25' SIDE: 10'
PROPOSED 22,500 SF BUILDING SETBACK	FRONT: 516' REAR: 28' SIDE: 58'

CAMA LAND USE	WATERSHED RESOURCE PROTECTION
BUILDING USE	RELIGIOUS FACILITY (CHURCH)

PROPOSED BUILDING FOOTPRINT AREA	22,500 SF
BUILDING LOT COVERAGE (22,500/269,912)	8.34%
NUMBER OF BUILDINGS	1
NUMBER OF UNITS	3
BUILDING HEIGHT	1
NUMBER OF STORIES	2
SF 1st FLOOR (GROSS)	22,500 SF
SF 2nd FLOOR (GROSS)	16,236 SF

EXISTING IMPERVIOUS AREAS:	
EXISTING BUILDING	4,190 SF
EXISTING ASPHALT	0 SF
EXISTING CONCRETE	0 SF
EXISTING GRAVEL	6,425 SF
EXISTING IMPERVIOUS AREA	10,615 SF (3.93%)

PROPOSED ONSITE IMPERVIOUS AREAS:	
PROPOSED BUILDING FOOTPRINT	22,500 SF
PROPOSED ASPHALT	68,405 SF
PROPOSED CONCRETE	6,253 SF
FUTURE IMPERVIOUS	9,482 SF
EXISTING IMPERVIOUS TO REMAIN	0 SF
TOTAL ONSITE IMPERVIOUS AREA	106,640 SF (39.51%)
TOTAL OFFSITE IMPERVIOUS AREA	600 SF
TOTAL ONSITE + OFFSITE IMPERVIOUS AREA	107,438 SF

PARKING REQUIRED: 600 SEATS	150
MINIMUM: 1/4 SEATS	200
MAXIMUM: 1/3 SEATS	159
PARKING PROVIDED	6
HANDICAP SPACES REQUIRED	6
HANDICAP SPACES PROVIDED	6
BICYCLE PARKING REQUIRED (159 SPACES)	15
BICYCLE PARKING PROVIDED	15

PUBLIC WATER AND SEWER BY CFPUA	
EXISTING WATER FLOW:	396 GPD
EXISTING SEWER FLOW:	360 GPD
PROPOSED WATER FLOW:	
(3 GPD PER SEAT x 600 SEATS x 110%)	1,980 GPD
PROPOSED SEWER FLOW:	
(3 GPD PER SEAT x 600 SEATS)	1,800 GPD

LEGEND

---	PROPERTY LINE (BOUNDARY)
---	RIGHT OF WAY
---	EXISTING CONTOUR
---	EXISTING SPOT ELEVATION
---	PROPOSED CONCRETE AREA
---	PERVIOUS CONCRETE AREA
---	LIMITS OF DISTURBANCE
---	TEMPORARY SILT FENCE
---	PROPOSED SPOT ELEVATION

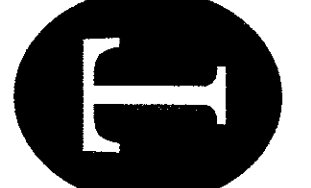
REVISIONS

No.	Date	Description	By

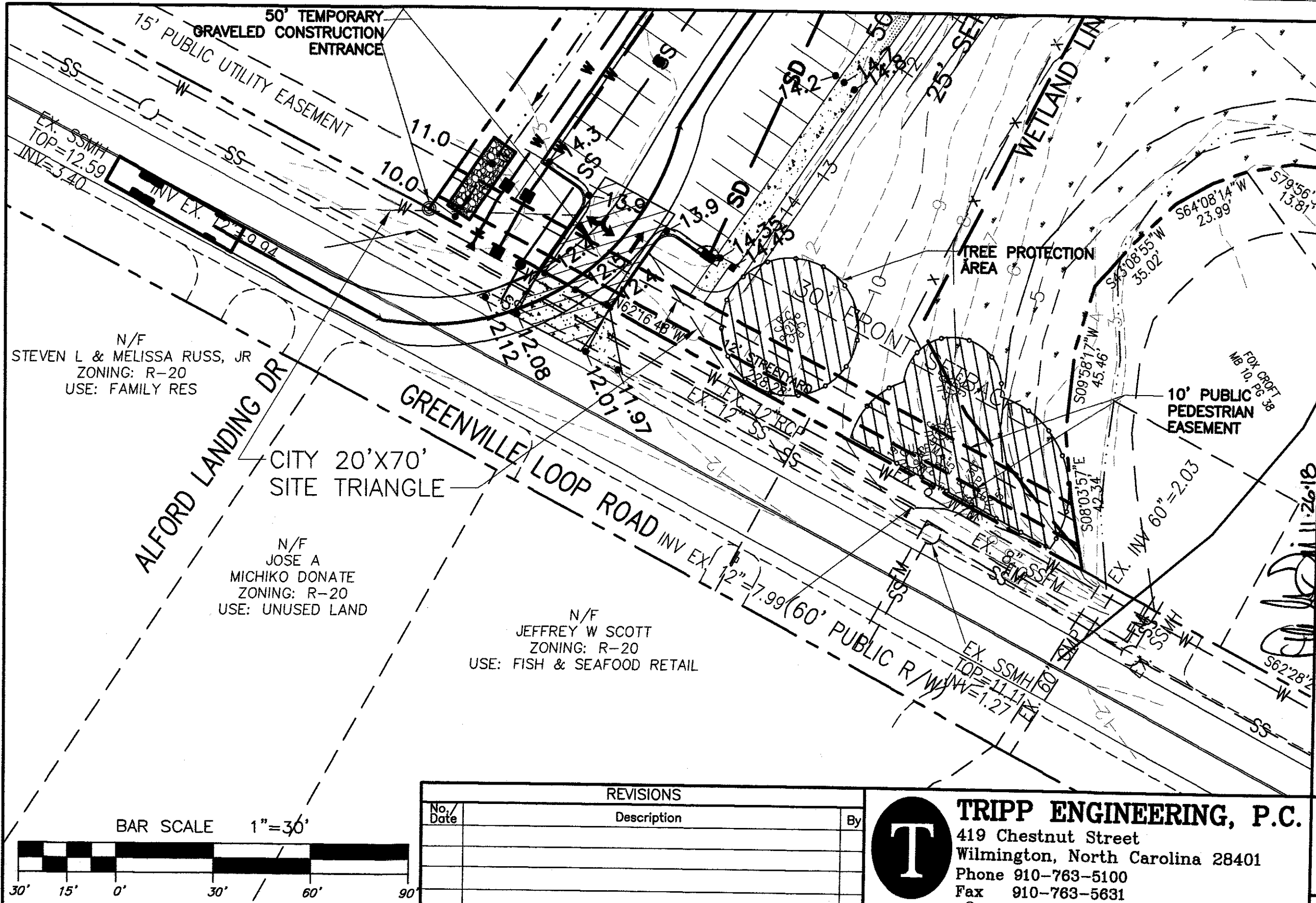
GRADING, DRAINAGE, EROSION CONTROL, AND STORMWATER MANAGEMENT PLAN

THE APOSTOLIC TABERNACLE CHURCH
5829 GREENVILLE LOOP ROAD
WILMINGTON, NORTH CAROLINA

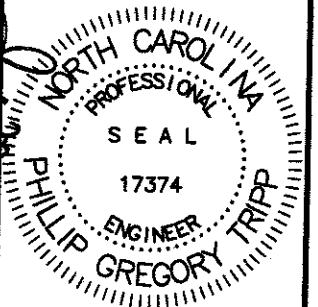
TRIPP ENGINEERING, P.C.
419 Chestnut Street
Wilmington, North Carolina 28401
Phone 910-763-5100
Email trippengr@ec.rr.com



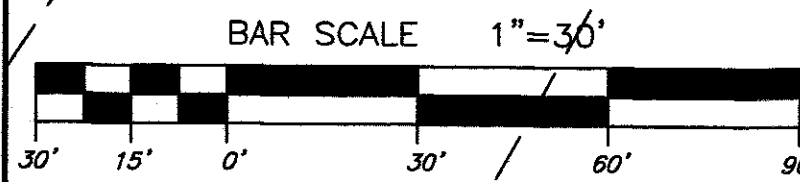
DATE	11-26-18
DESIGN	PGT
DRAWN	MLV



PROPERTY FRONTAGE EXHIBIT
FOR PIU OF PATH CONSTRUCTION
**THE APOSTOLIC
TABERNALE CHURCH**
5829 GREENVILLE LOOP ROAD
WILMINGTON, NORTH CAROLINA



DATE 11-26-18
DESIGN PGT
DRAWN JET



REVISIONS		
No./Date	Description	By



TRIPP ENGINEERING, P.C.
419 Chestnut Street
Wilmington, North Carolina 28401
Phone 910-763-5100
Fax 910-763-5631
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C4A
SHEET 1 OF 1
17024

Approved Construction Plan
Name _____ Date _____
Planning _____
Traffic _____
Fire _____
City of Wilmington
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: _____ Permit # _____
Signed: _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

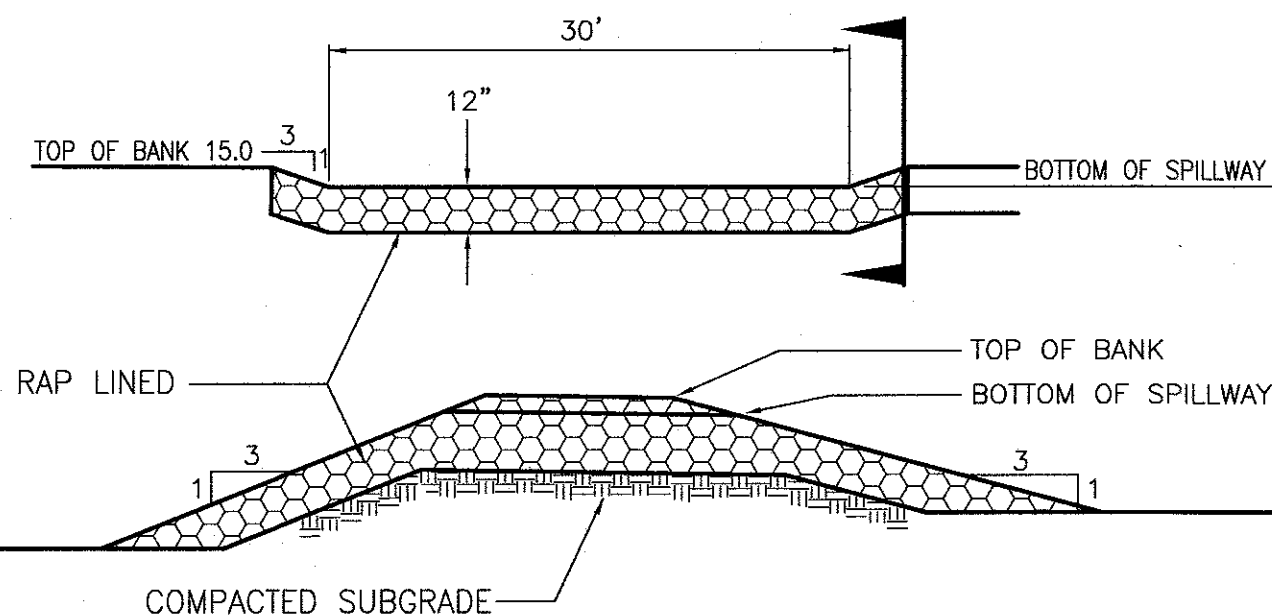
TEMPORARY GRAVELLED CONSTRUCTION ENTRANCE

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TYPICAL GRASS SWALE

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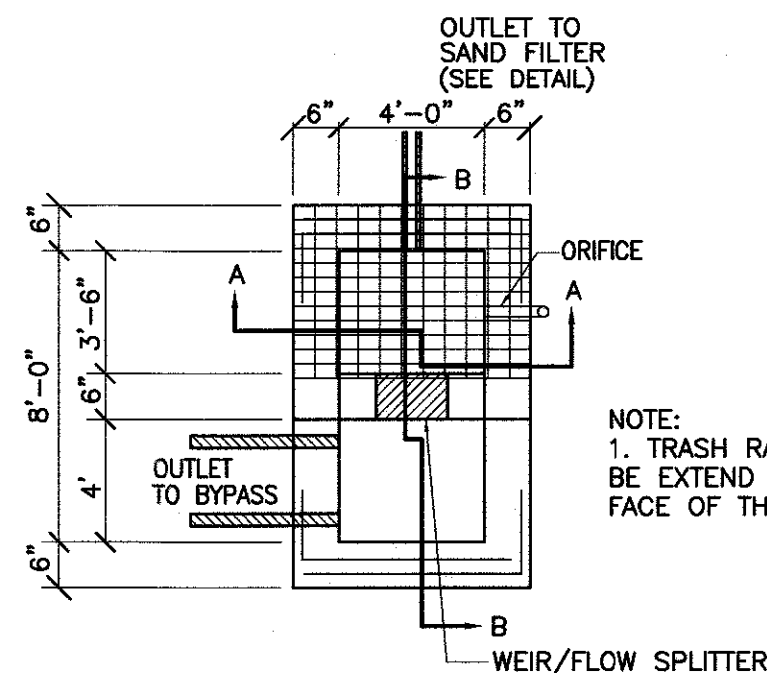
EMERGENCY SPILLWAY DETAIL

NTS

OUTLET STRUCTURE DATA				
Basin #	Top Elev	Bottom Elev	Orifice Size/Invert	Weir/Flow Splitter Size/Invert
1	13.50	9.5	2.5"/10.00	24"/12.6
Outlet to Sand Filter Inv in/Inv out			Outlet to Bypass Size	Outlet to Bypass Inv in/Inv out
10.0/10.0			24 inch	10.0/9.5

DROP INLET DETAIL

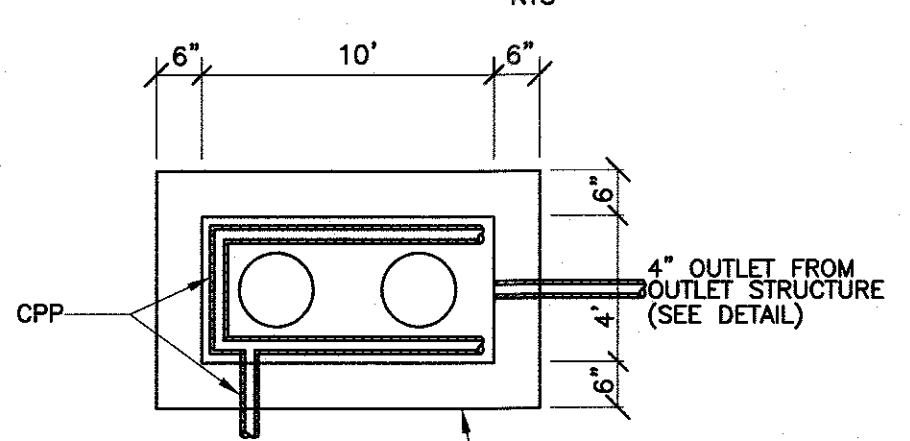
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NOTE: 1. TRASH RACK MUST BE EXTENDED OVER THE FACE OF THE WEIR.

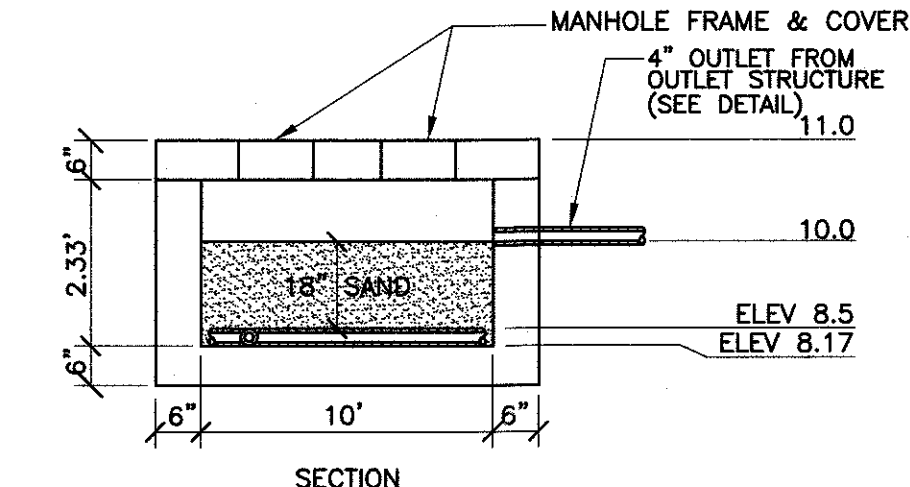
LEVEL SPREADER DETAIL

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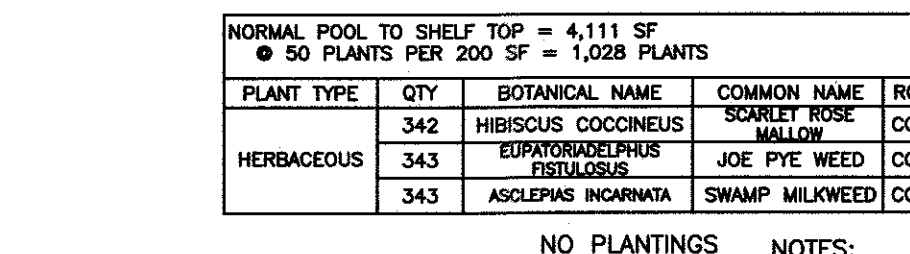
OUTLET TO SAND FILTER DETAIL

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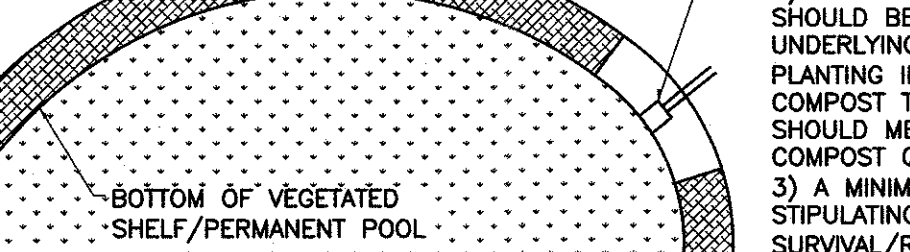
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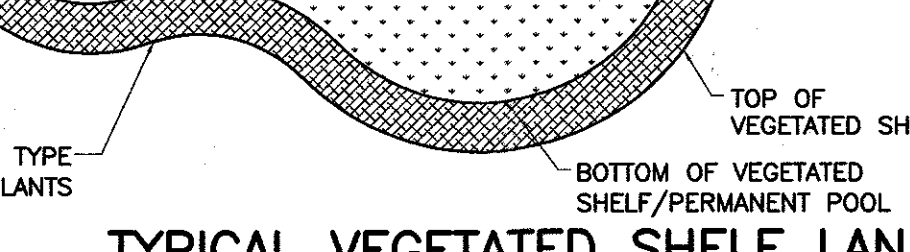
OUTLET TO SAND FILTER DETAIL

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OUTLET TO SAND FILTER DETAIL

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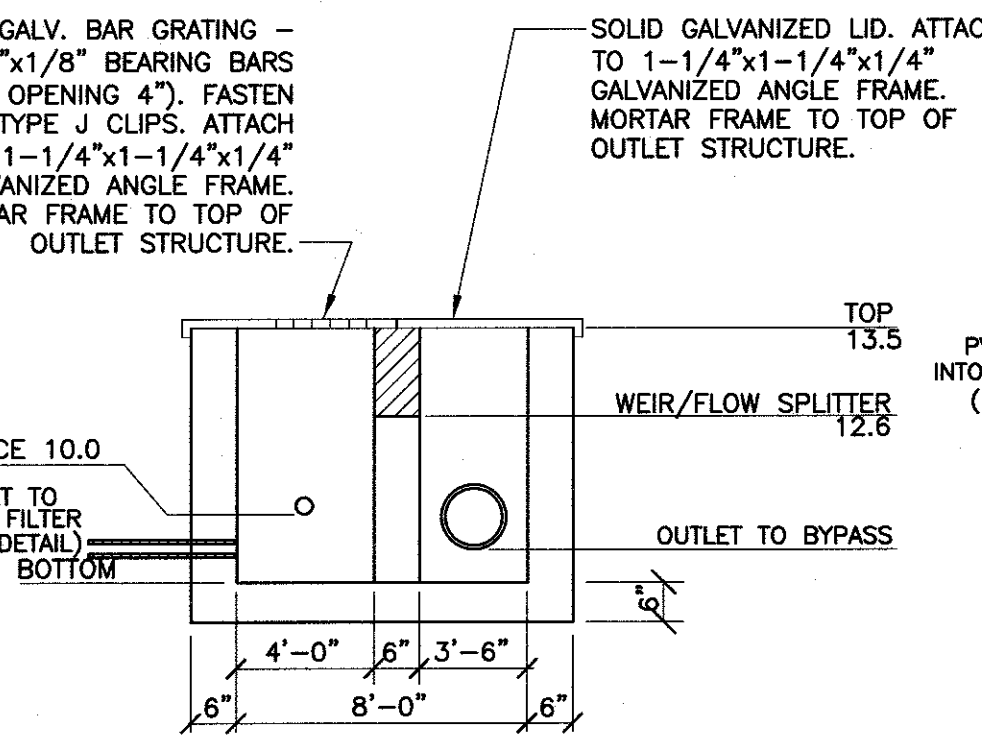


OUTLET TO SAND FILTER DETAIL

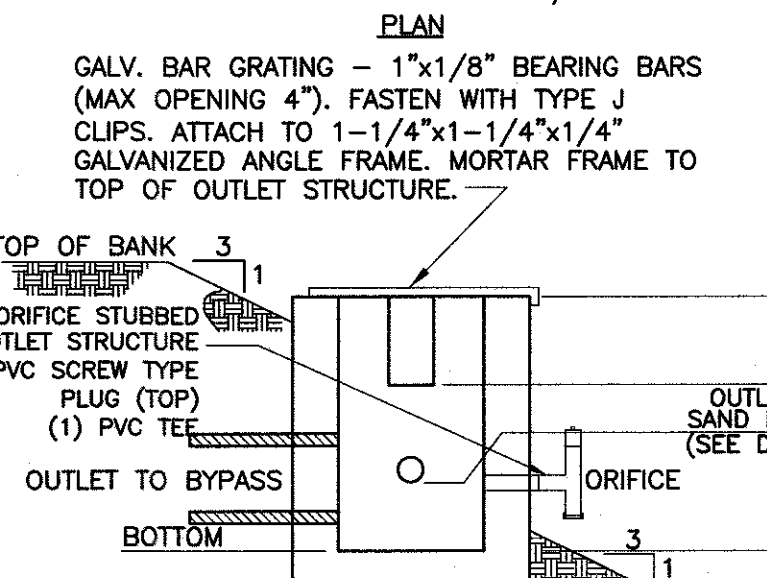
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OUTLET TO SAND FILTER DETAIL

NTS



SECTION B - B



SECTION A - A

OUTLET STRUCTURE DETAIL

NTS

WET DETENTION BASIN DATA					
Basin #	Top of Bank Elev.	Temporary Pool Elev.	Permanent Pool Elev.	Emergency Spillway El.	Bottom Main/Forebay
1	15.00	12.60	10.00	14.00	4.5/6.0-7.0
Sediment Bottom			3.5/5.0		

- POND SLOPE TO BE SEEDED IN ACCORDANCE TO SEEDING SPECIFICATIONS
- 6:1 VEGETATED SLOPE TO BE PLANTED WITH WETLAND SPECIES I.E. PICKEREL WEED, DUCK POTATO, SWAMP ROSE, BLUE FLAG
- LAND CARDINAL FLOWER
- A PUMP WILL BE PROVIDED TO DRAIN THE BASIN FOR MAINTENANCE AND EMERGENCIES

WET DETENTION BASIN & FOREBAY SECTION

NTS

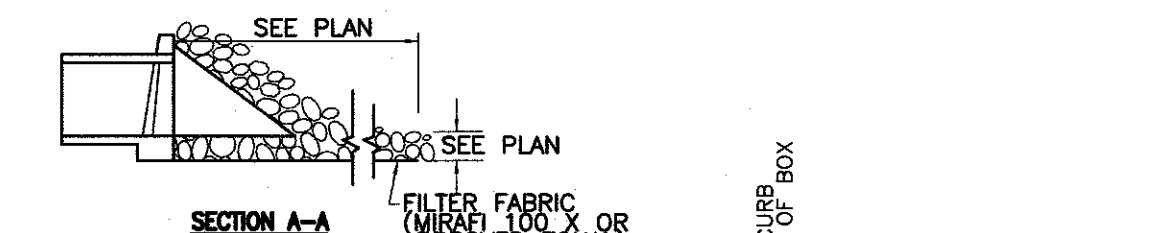
WET DETENTION BASIN & FOREBAY SECTION

NTS

WET DETENTION BASIN & FOREBAY SECTION

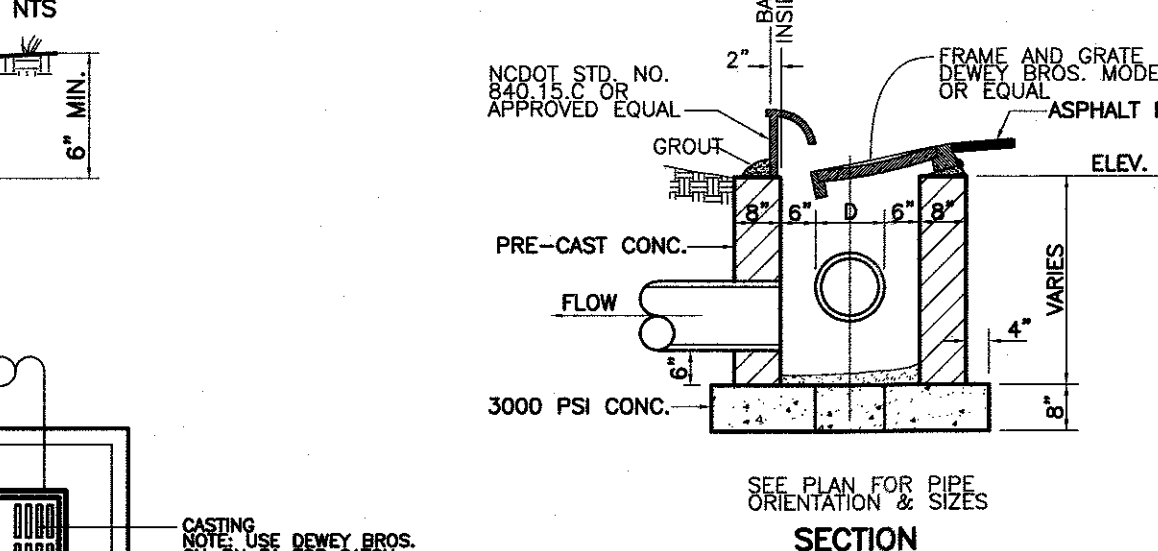
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ENERGY DISSIPATOR DATA						
STR. #	Q10 (CFS)	V (FPS)	L (FT)	W (FT)	D (FT)	PIPE SIZE (Inch)
1	1.69	1.38	5	5	1	15
2	12.60	4.01	10	10	1.5	24
3	1.85	0.59	5	5	1	24



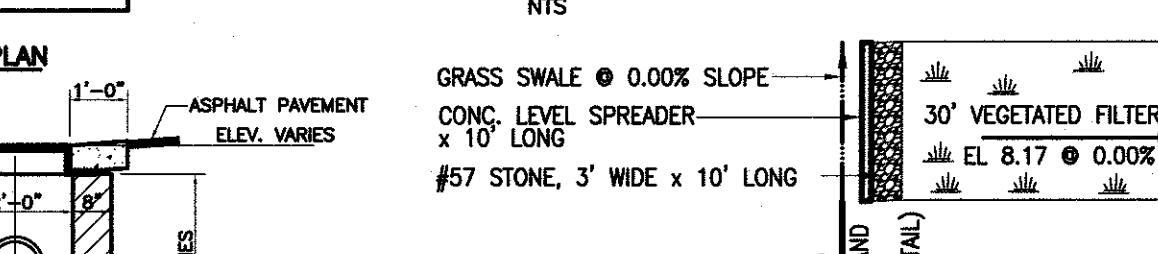
ENERGY DISSIPATOR

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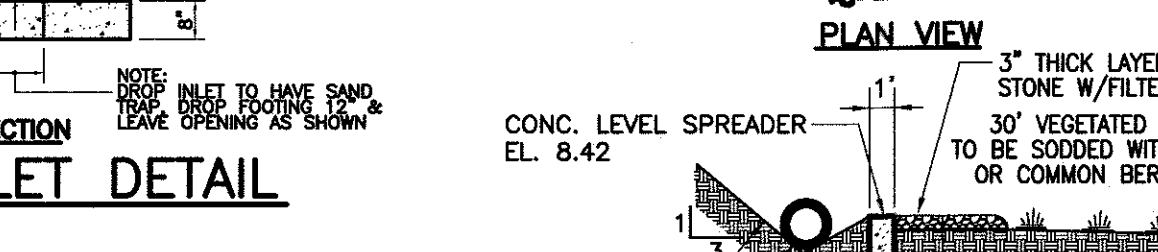
ENERGY DISSIPATOR

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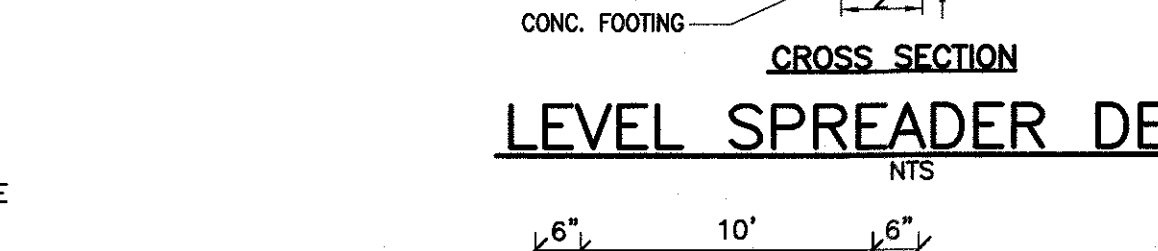
ENERGY DISSIPATOR

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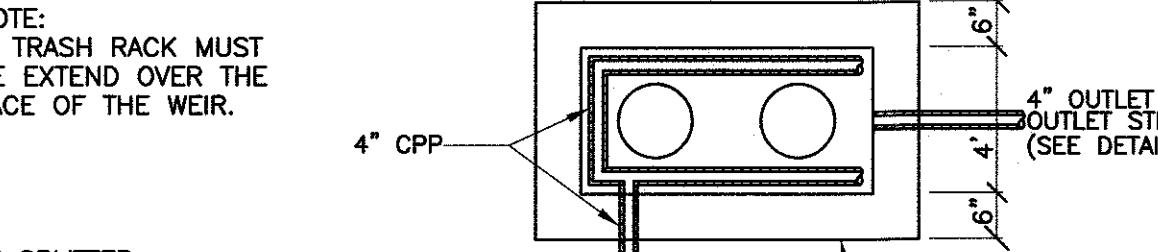
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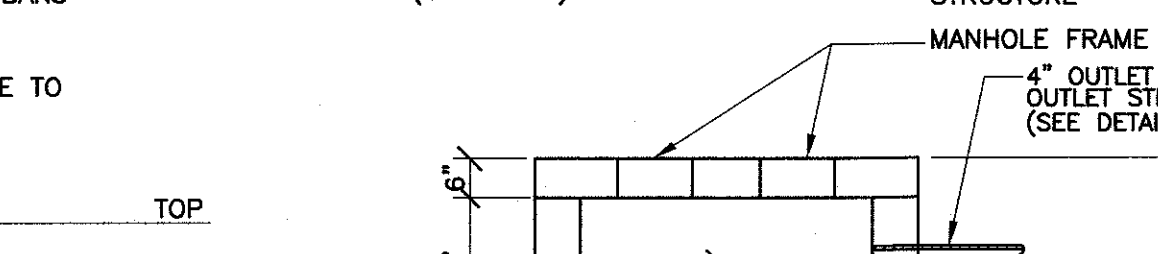
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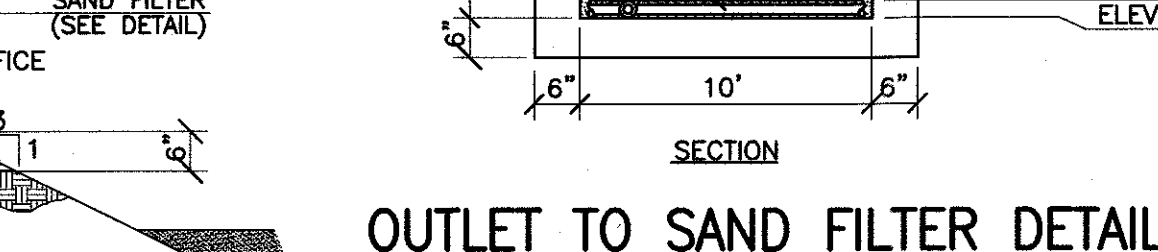
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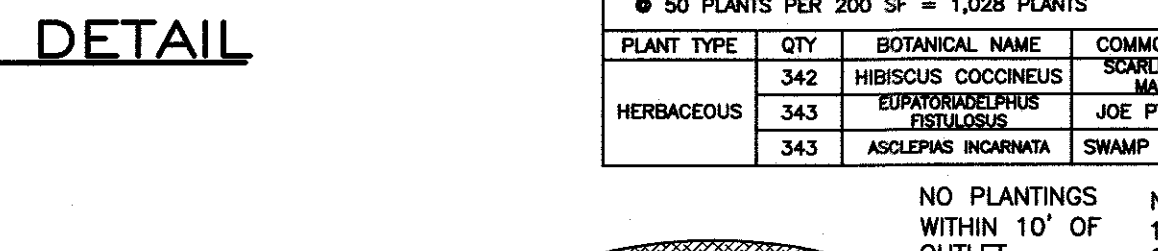
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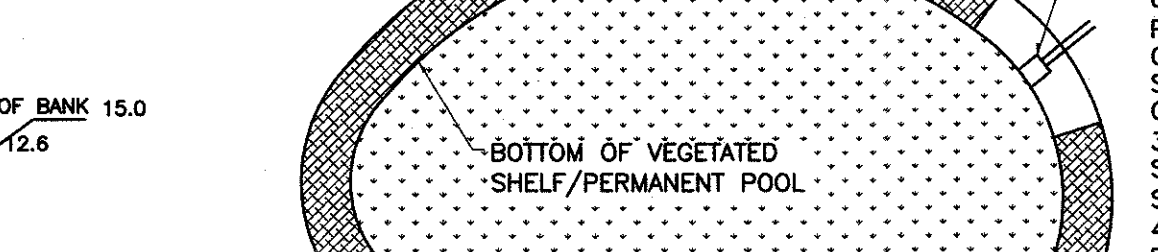
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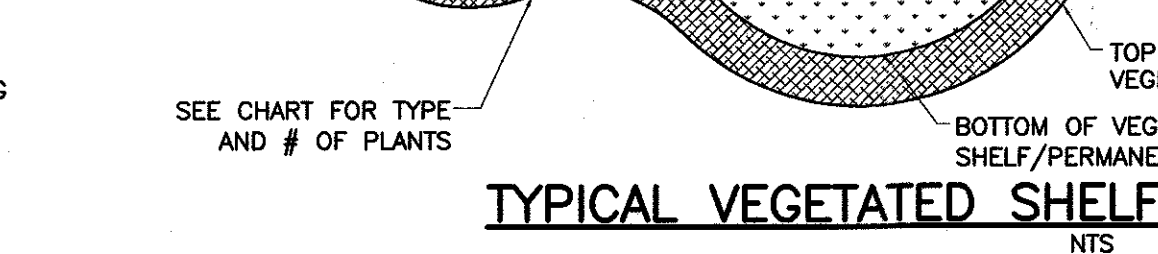
ENERGY DISSIPATOR

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ENERGY DISSIPATOR

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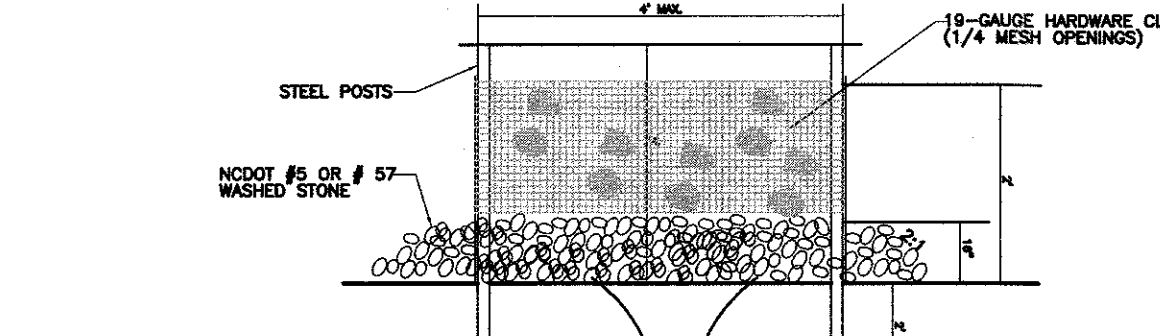


ENERGY DISSIPATOR

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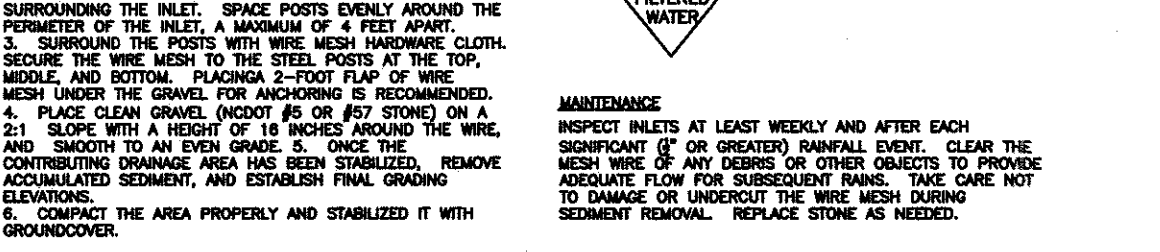
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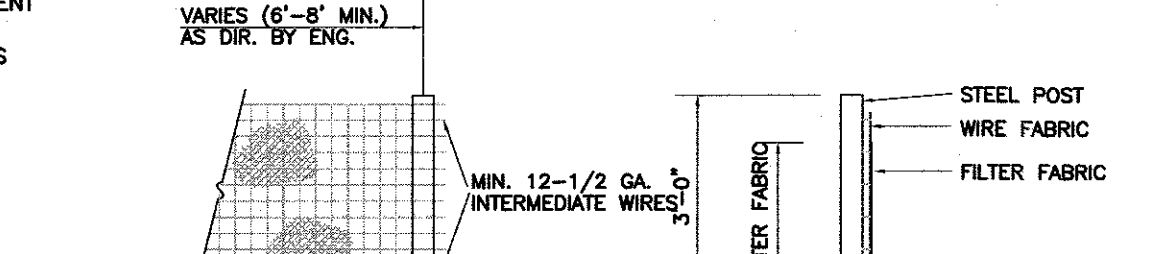
HARDWARE CLOTH AND GRAVEL INLET PROTECTION

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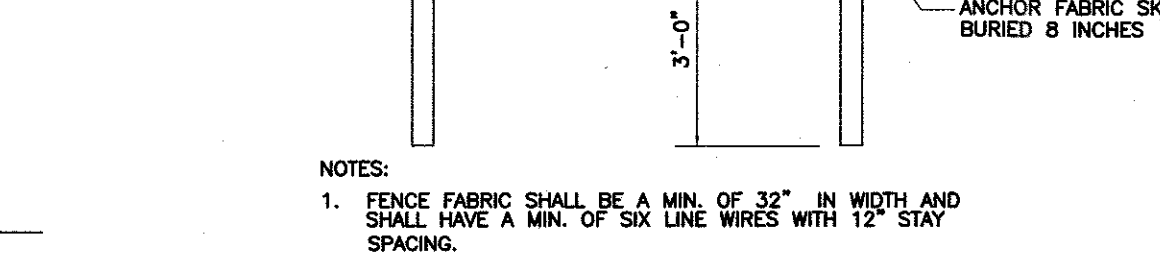
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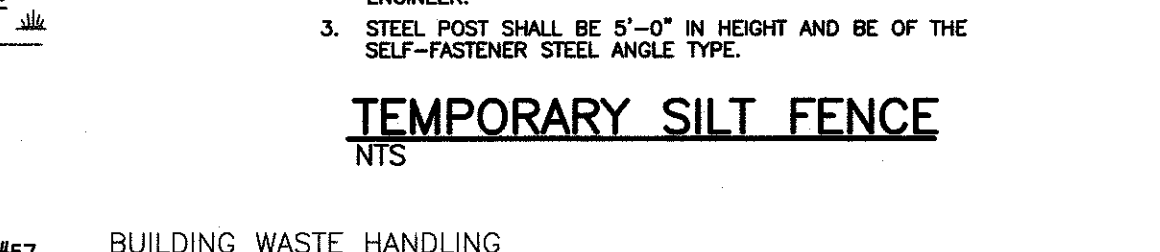
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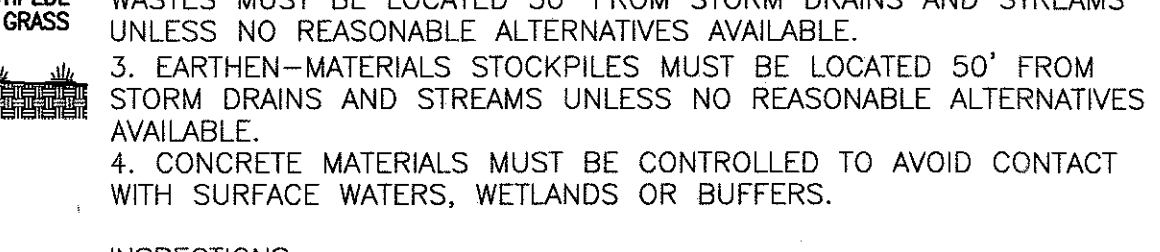
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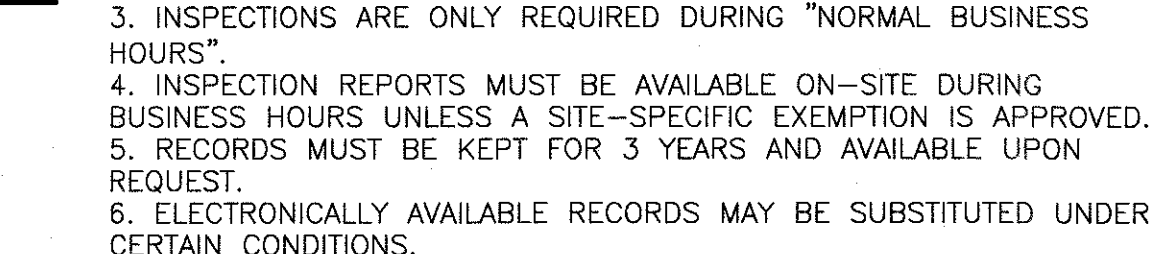
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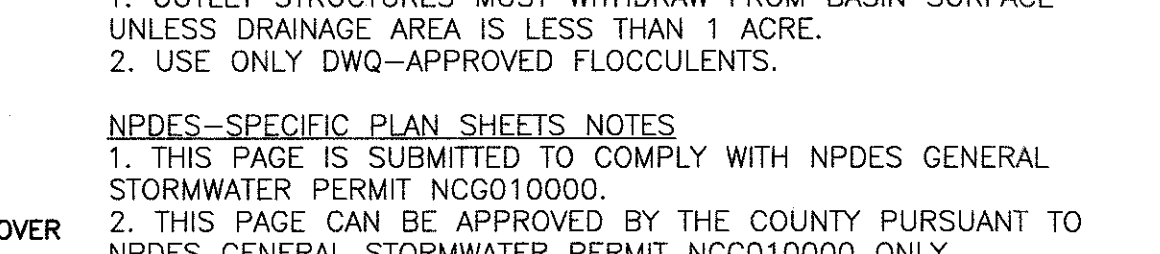
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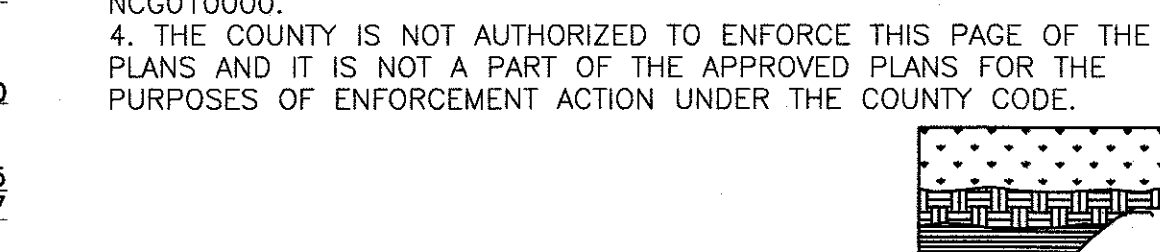
HARDWARE CLOTH AND GRAVEL INLET PROTECTION

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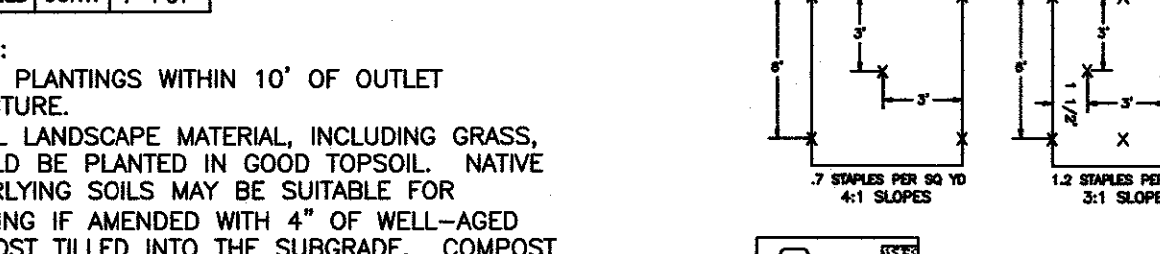
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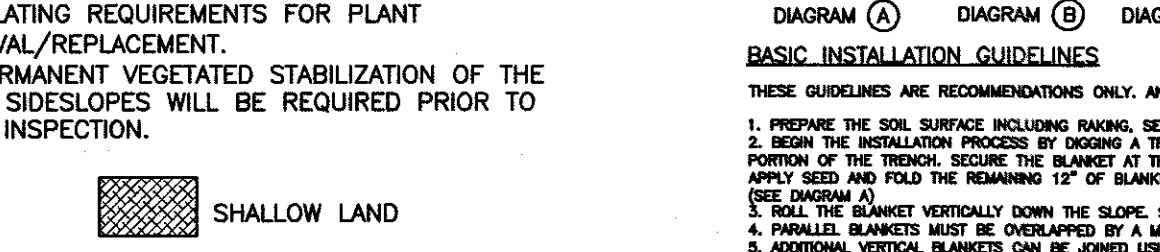
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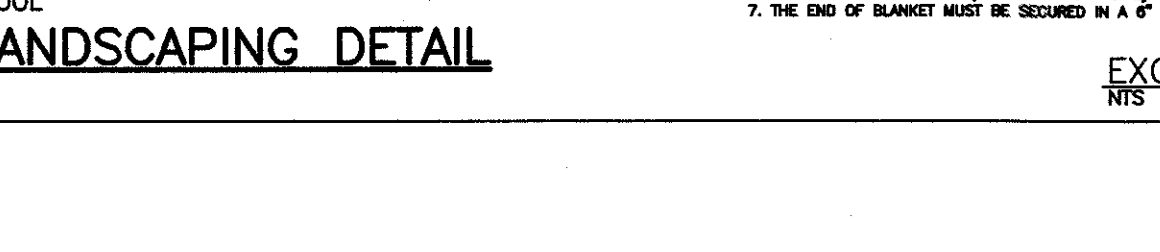
HARDWARE CLOTH AND GRAVEL INLET PROTECTION

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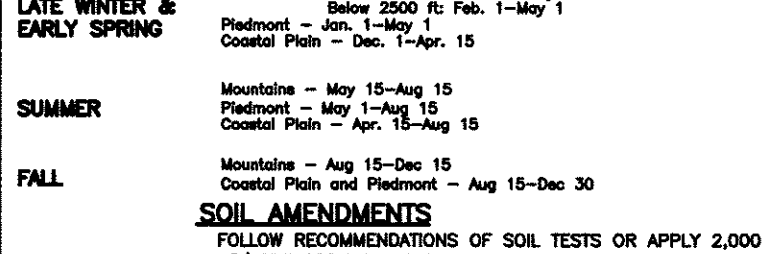
HARDWARE CLOTH AND GRAVEL INLET PROTECTION

NTS

TEMPORARY SEEDING SPECIFICATION	
SEEDING MIXTURE	RATE (lb./acre)
Species	
RYE (grain)	120
Grass (grain)	50
Grass (seed)	40
Grass (seed)	40

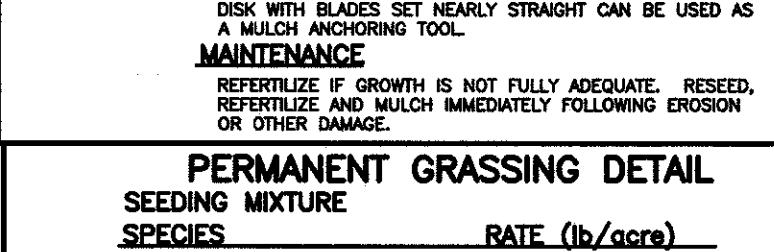
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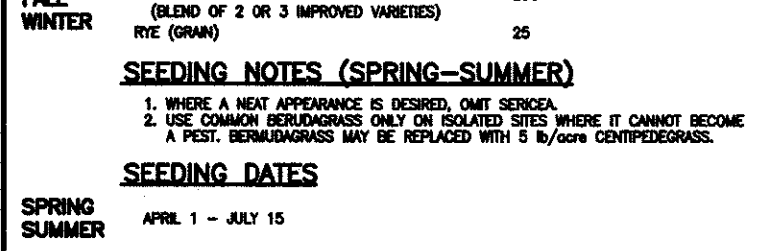
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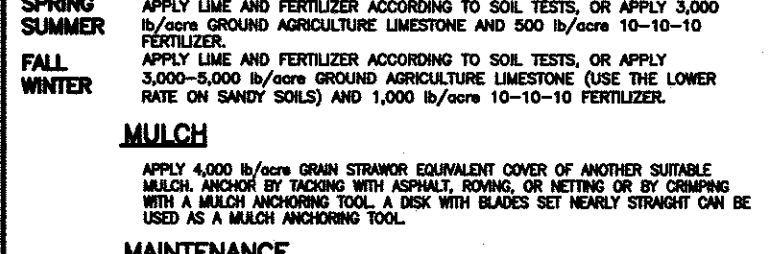
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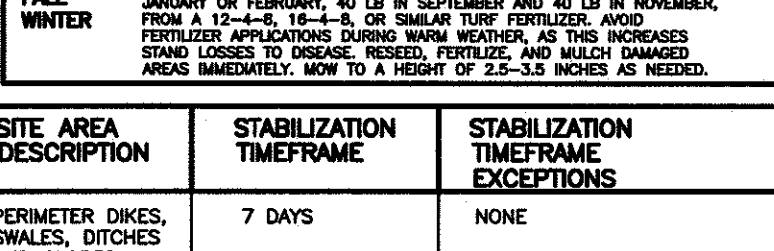
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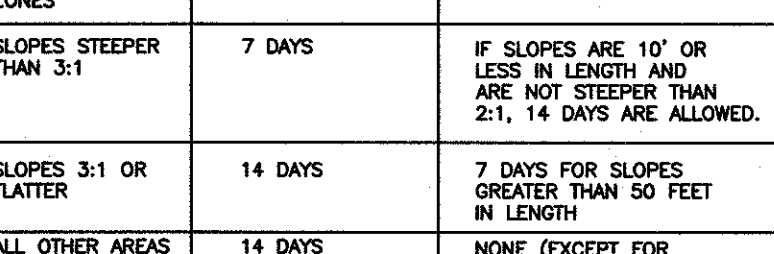
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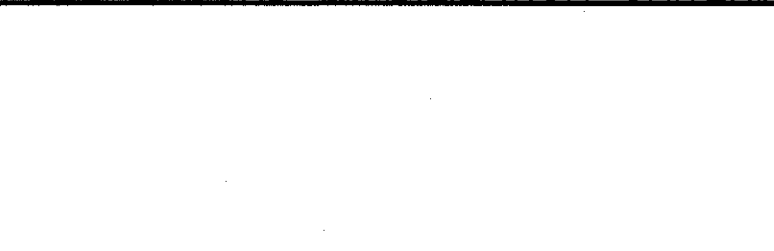
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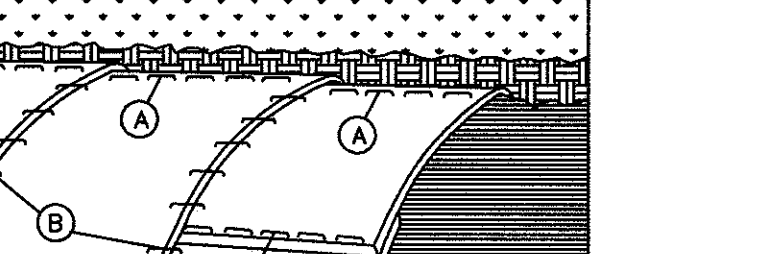
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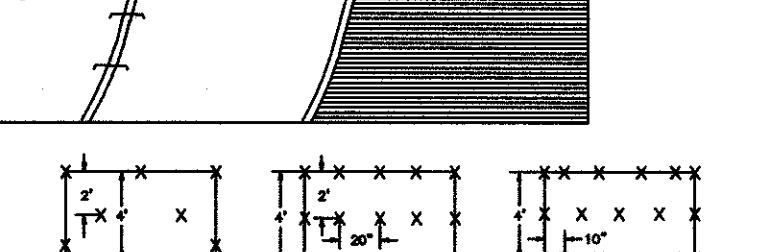
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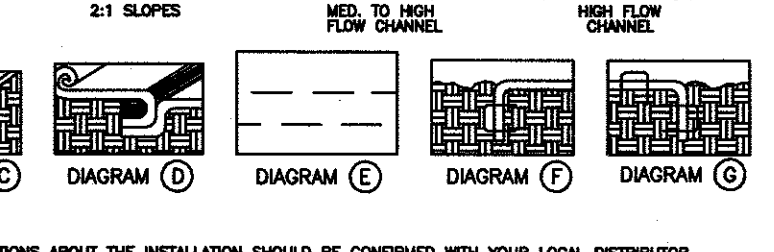
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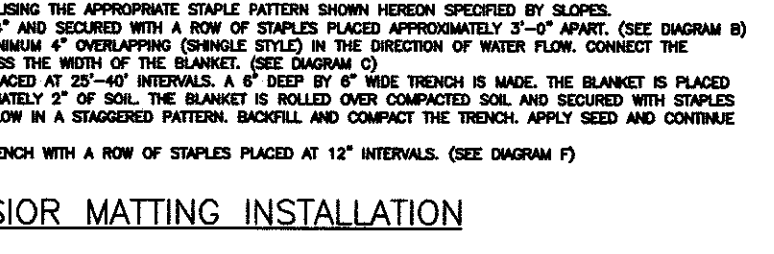
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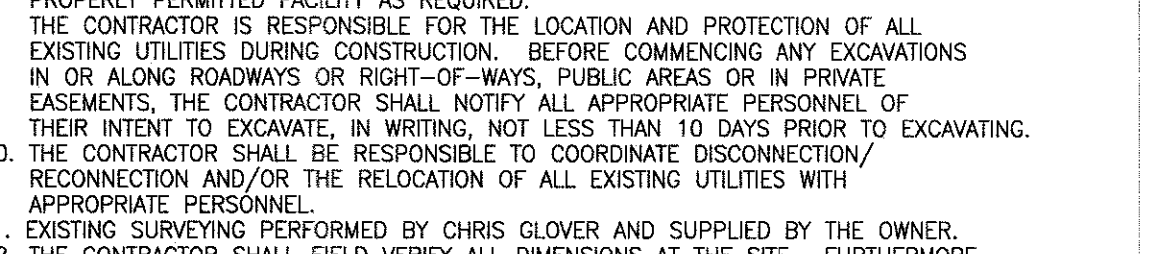
TEMPORARY SEEDING SPECIFICATION

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SITE WORK NOTES	
1. THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIARIZED WITH EXISTING CONDITIONS BOTH ON AND IMMEDIATELY ADJACENT TO THE SITE.	
2. CLEARING: CONTRACTOR SHALL REMOVE ALL TREES AND VEGETATION WITHIN LIMITS OF CONSTRUCTION UNLESS OTHERWISE DESIGNATED TO REMAIN.	
3. GRUBBING AND STRIPPING: CONTRACTOR SHALL REMOVE ROOTS, STUMPS, VEGETATION, DEBRIS, EXISTING STRUCTURES ABOVE AND BELOW GRADE, ORGANIC MATERIAL OR ANY OTHER UNSUITABLE MATERIAL WITHIN LIMITS OF CONSTRUCTION.	
4. MUCKING: CONTRACTOR SHALL COORDINATE WITH OWNER AND THEIR GEOTECHNICAL REPRESENTATIVE TO COORDINATE REMOVAL OF ANY SOFT AREAS.	
5. DISPOSAL: CLEARED, GRUBBED, STRIPPED OR OTHER WASTE MATERIAL SHALL BE REMOVED FROM SITE AND DISPOSED OF IN A PROPERLY PERMITTED FACILITY.	
6. FILL AND COMPACTION SHOULD COMPLY WITH GEOTECHNICAL REQUIREMENTS.	
7. THE CONTRACTOR SHALL NOTE THAT THE GRADING PLAN MAY NOT REPRESENT A BALANCED EARTHWORK CONDITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CUT AND FILL QUANTITIES AND COMPLETE INSTALLATION TO SPECIFIED GRADES.	
8. THE CONTRACTOR SHALL FURNISH SUITABLE BORROW MATERIAL FROM AN OFF-SITE PROPERLY PERMITTED FACILITY AS REQUIRED.	
9. THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION. BEFORE COMMENCING ANY EXCAVATIONS IN OR ALONG ROADWAYS OR RIGHT-OF-WAYS, PUBLIC AREAS OR IN PRIVATE EASEMENTS, THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE PERSONNEL OF THEIR INTENT TO EXCAVATE. IN WRITING, NOT LESS THAN 10 DAYS PRIOR TO EXCAVATING.	
10. THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE DISCONNECTION/RECONNECTION AND/OR THE RELOCATION OF ALL EXISTING UTILITIES WITH APPROPRIATE PERSONNEL.	
11. EXISTING SURVEYING PERFORMED BY CHRIS GLOVER AND SUPPLIED BY THE OWNER.	
12. THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AT THE SITE. FURTHERMORE, ANY DISCREPANCIES TO THE GRADING PLAN SHALL BE REPORTED TO THE ENGINEER PRIOR TO INSTALLATION.	
13. THE CONTRACTOR SHALL PROVIDE ANY AND ALL LAYOUT REQUIRED TO CONSTRUCT HIS WORK UNLESS OTHERWISE DIRECTED BY OWNER.	
14. ALL PVC UTILITY MAINS SHALL BE INSTALLED WITH A MINIMUM OF 36" COVER AT FINAL GRADE.	
15. ALL SERVICE CONNECTIONS SHALL BE INSTALLED TO MEET ALL LOCAL AND STATE CODES. METERS, TAPS, MATERIALS, WORKMANSHIP AND ALL TESTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL COMPLY WITH ALL REQUIREMENTS.	
16. ALL PAVEMENT, BASE AND SUBGRADE SHALL CONFORM TO NCDOT STANDARDS INCLUDING WORKMANSHIP, MATERIALS AND EQUIPMENT. APPROPRIATE BARRICADES, SIGNS, LIGHTS OR OTHER TRAFFIC CONTROL DEVICES SHALL BE PROVIDED IN ACCORDANCE WITH NCDOT TO MAINTAIN SAFETY AND TWO WAY TRAFFIC.	
17. ALL AREAS SHALL BE GRADED FOR POSITIVE DRAINAGE. THE CONTRACTOR SHALL REPORT ALL DISCREPANCIES TO THE ENGINEER PRIOR TO INSTALLATION. ALL AREAS SHALL BE SLOPED TO DRAIN AWAY FROM BUILDINGS AT ALL TIMES.	
18. CONCRETE STORM DRAINAGE PIPE SHALL BE CLASS II WITH RUBBER GASKETED JOINTS AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS.	
19. USE WHITE LANE MARKING PAINT FOR ALL PAVEMENT MARKINGS. PAINT SHALL BE A CHLORINATED RUBBER ALKYL, FS TT-P-115, TYPE III, FACTORY MIXED, QUICK DRYING, NON BLEEDING. REFLECTIVE MATERIAL MAY BE ADDED AT OWNER'S OPTION FOR NIGHT REFLECTING.	
20. DUCTILE IRON SHALL BE CLASS 50.	
21. CONCRETE FOR WALKS, CURBS AND DRIVES SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS AIR ENTRAINED.	
22. FIELD TESTING SHALL BE DONE BY AN INDEPENDENT TESTING LABORATORY PAID FOR BY THE OWNER. FURTHER TESTING REQUIRED DUE TO A FAILED TEST WILL BE PAID FOR BY THE CONTRACTOR.	
23. SEE GEOTECHNICAL REPORT NO. _____ DATED _____ BY _____ FOR ADDITIONAL REQUIREMENTS.	

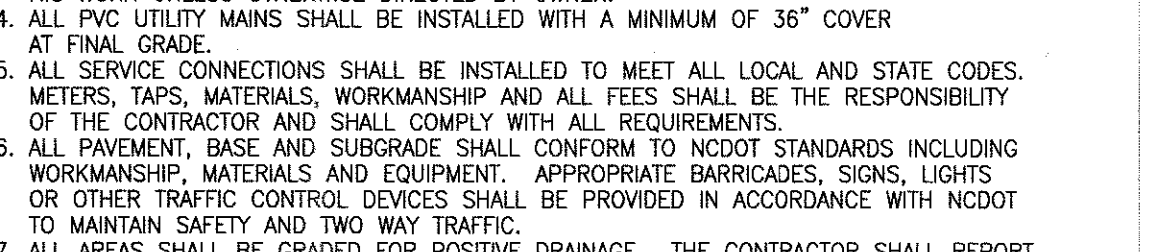
SITE WORK NOTES

NTS



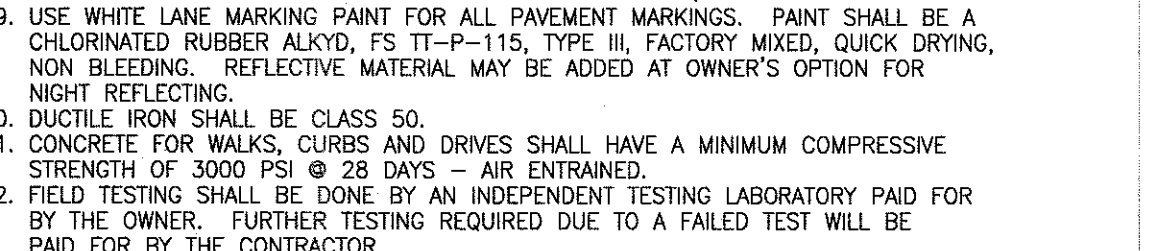
SITE WORK NOTES

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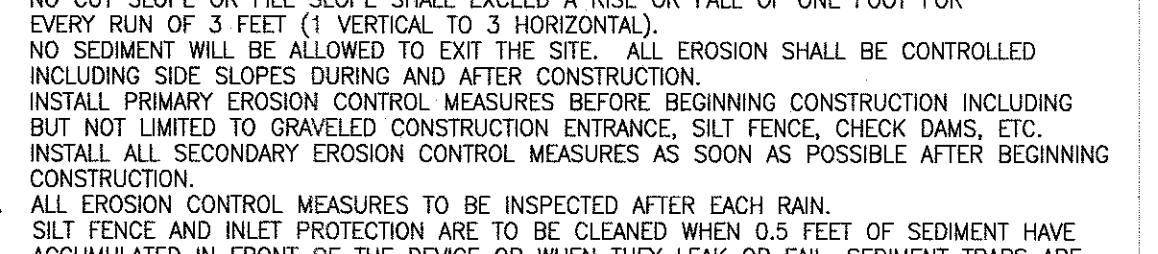
SITE WORK NOTES

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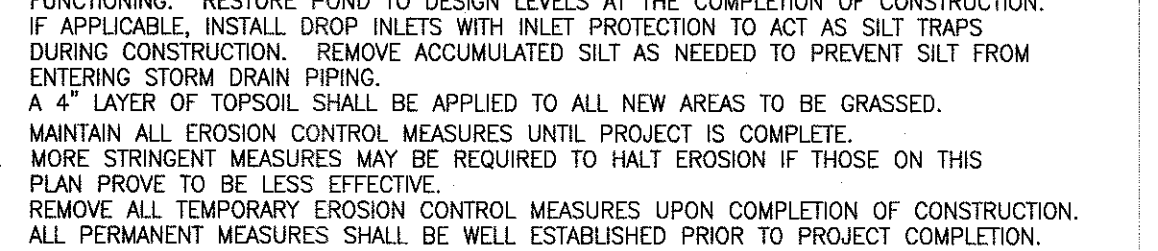
SITE WORK NOTES

NTS



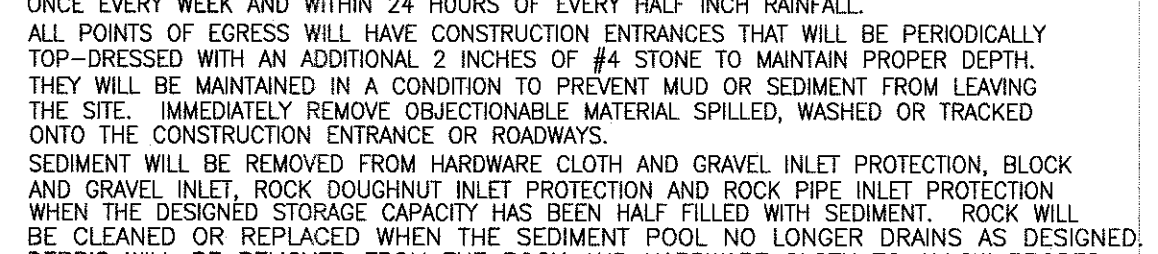
SITE WORK NOTES

NTS



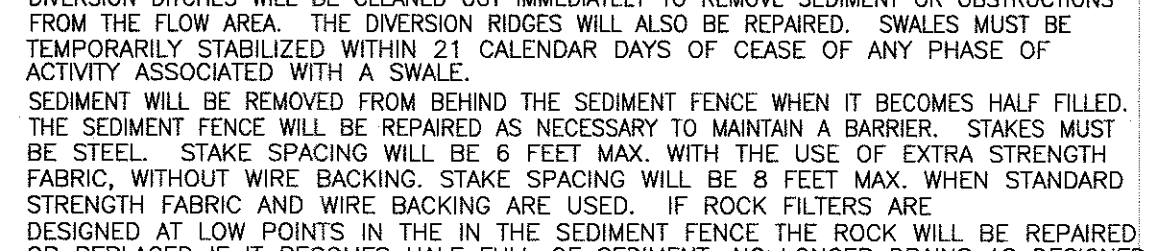
SITE WORK NOTES

NTS



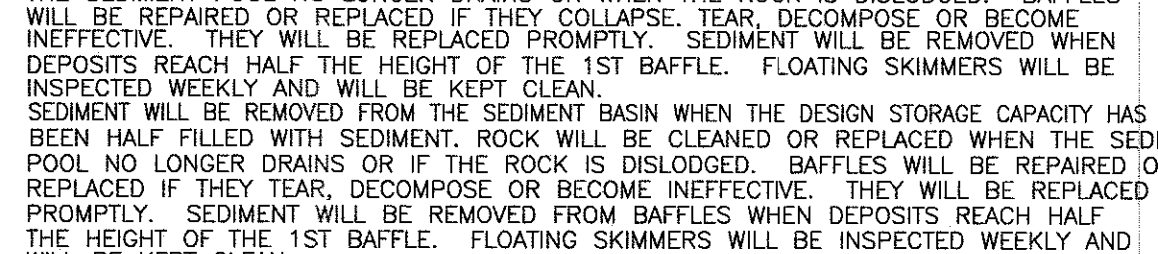
SITE WORK NOTES

NTS



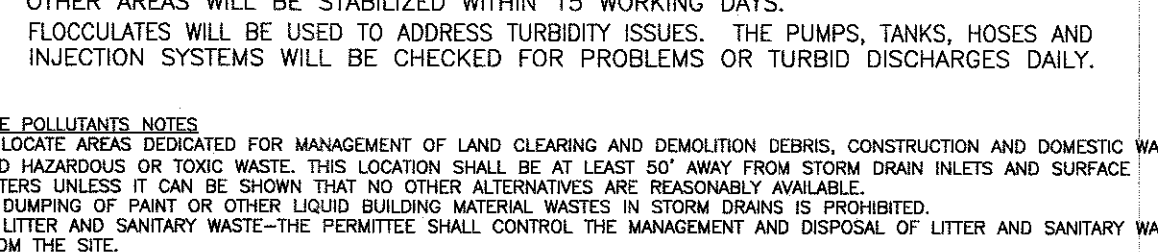
SITE WORK NOTES

NTS



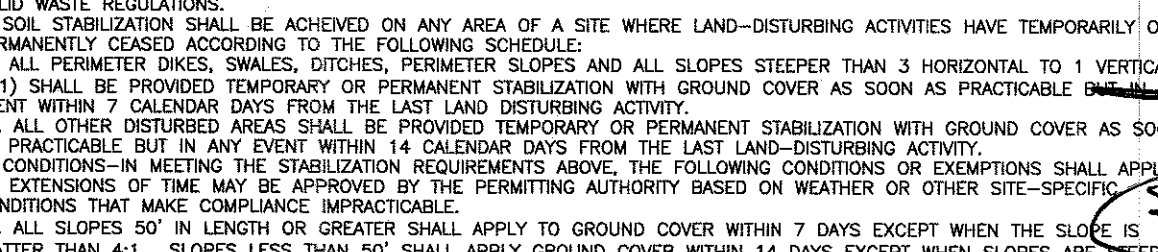
SITE WORK NOTES

NTS



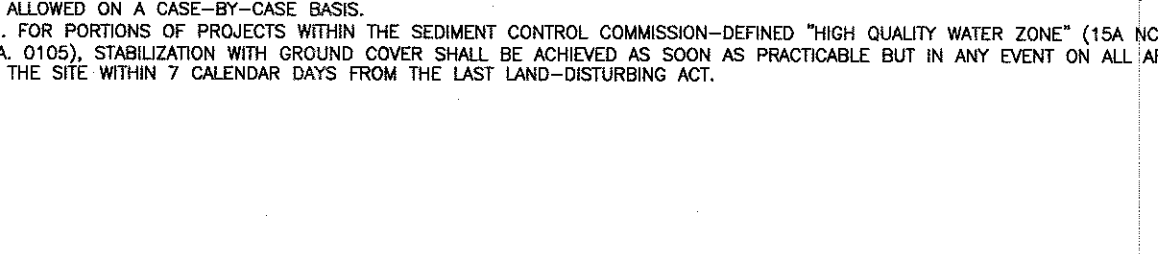
SITE WORK NOTES

NTS



SITE WORK NOTES

NTS



SITE WORK NOTES

NTS

SITE WORK NOTES

NTS

REVISIONS	
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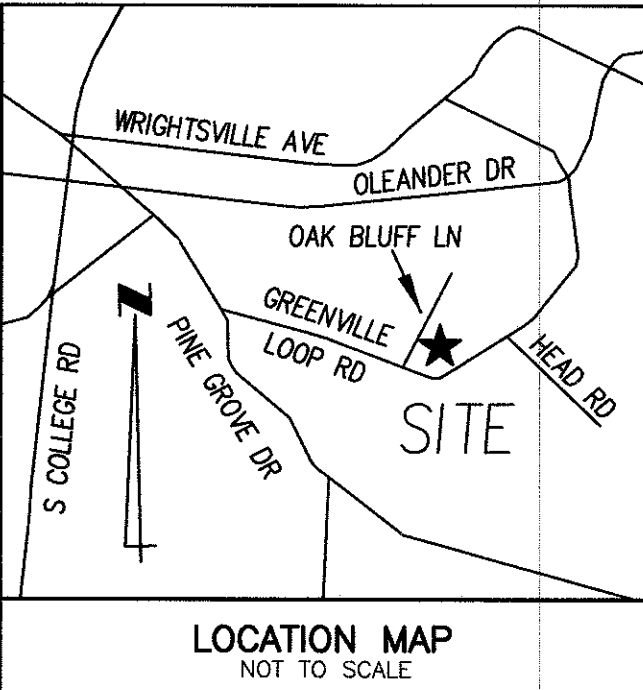
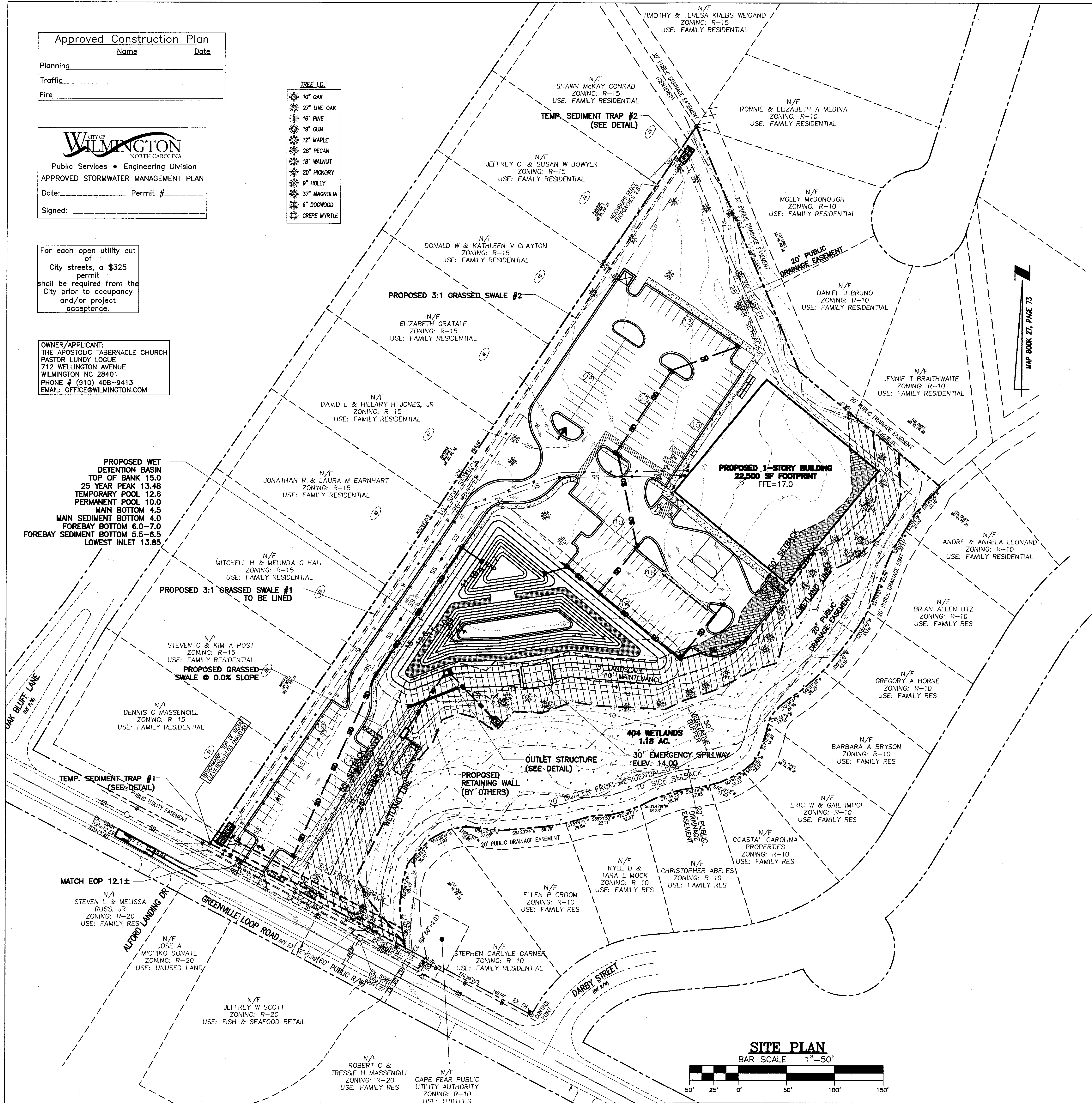
Approved Construction Plan
Name _____ Date _____
Planning _____
Traffic _____
Fire _____

CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: _____ Permit # _____
Signed: _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

OWNER/APPLICANT:
THE APOSTOLIC TABERNACLE CHURCH
PASTOR LUNDY LOGUE
712 WELLINGTON AVENUE
WILMINGTON NC 28401
PHONE # (910) 408-9413
EMAIL: OFFICE@WILMINGTON.COM

- TREE I.D.
- 10" OAK
 - 27" LIVE OAK
 - 16" PINE
 - 19" GUM
 - 12" MAPLE
 - 28" PECAN
 - 18" WALNUT
 - 20" HICKORY
 - 9" HOLLY
 - 37" MAGNOLIA
 - 6" DOGWOOD
 - CREPE MYRTLE



SITE DATA:
PROPERTY OWNER: THE APOSTOLIC TABERNACLE CHURCH
PROJECT ADDRESS: 5829 GREENVILLE LOOP ROAD
PIN NUMBERS: R06200-003-018-000
AREA NOT IN A FEMA 100-YEAR FLOOD ZONE
TRACT AREA: 269,912 SF (6.20 AC)
ZONING DISTRICT: R-15-RESIDENTIAL DISTRICT

CONSERVATION RESOURCE SETBACK AREA: 44,888 SF
25% BUILDABLE AREA WITHIN CONSERVATION RESOURCE SETBACK (44,888 SF * 25% = 11,222 SF) ALLOWED: 11,222 SF PROPOSED: 3,640 SF

- LEGEND**
- PROPERTY LINE (BOUNDARY)
 - RIGHT OF WAY
 - EXISTING CONTOUR
 - CONSERVATION RESOURCE SETBACK
 - IMPERVIOUS ENCROACHMENT

CONSERVATION RESOURCE SETBACK MAP

TRIPP ENGINEERING, P.C.
419 Chestnut Street
Wilmington, North Carolina 28401
Phone 910-763-5100
Email trippeng@ec.rr.com



DATE: 11-26-18
DESIGN: PGT
DRAWN: MLV

CR1
SHEET 1 OF 1
17024